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Notes

Client

Hamelin Trust

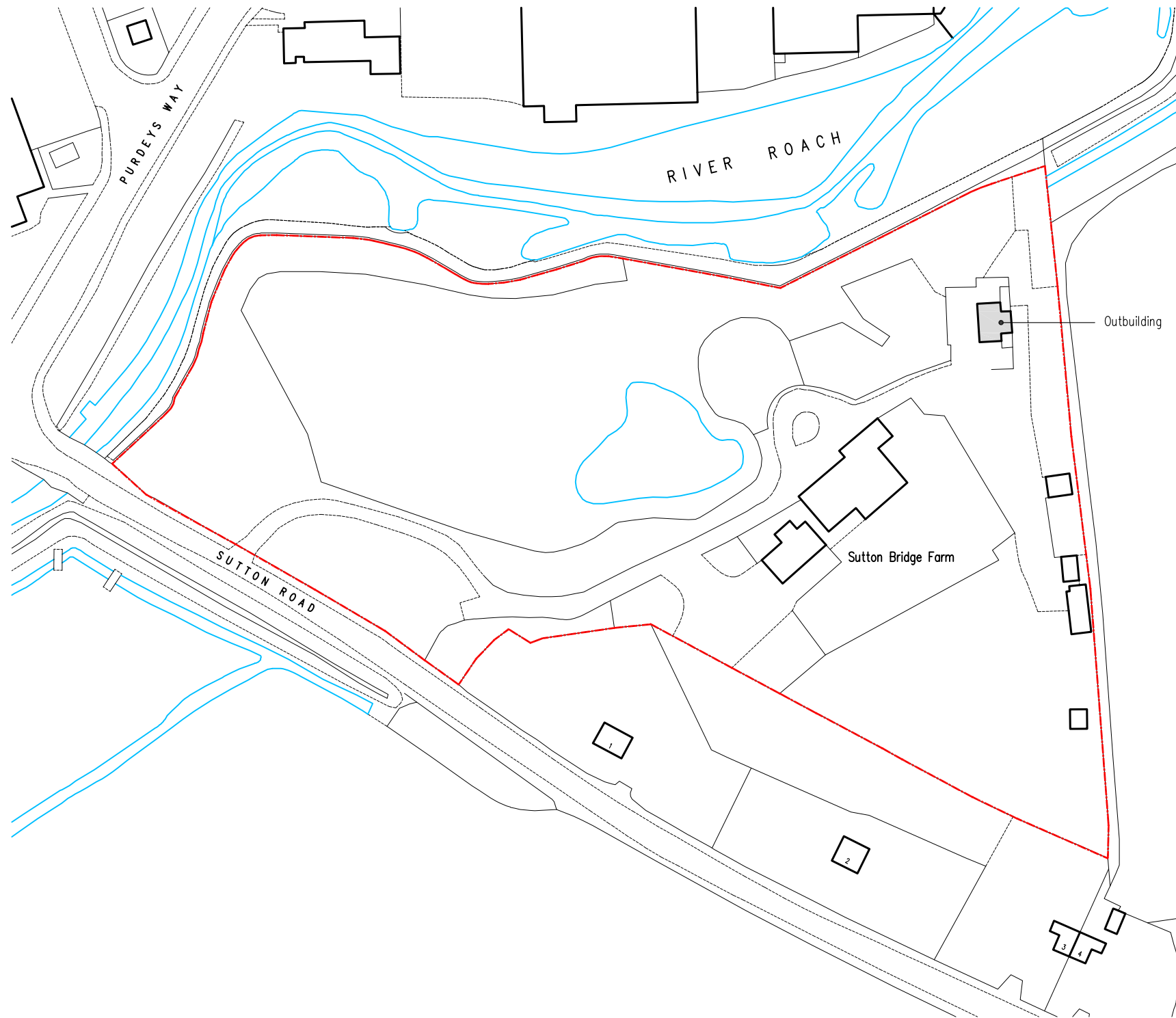
Project

Former Farm Outbuilding
Extension & Alteration

Services:	Town Planning Appl'n & Building Regs Compliance
Contract:	—
Value:	—

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T C Matthew
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SCALE 1 : 1250
SCALE 1 : 1

0m 10m 20m 50m 70m 100m
0m 10mm 20mm 40mm 60mm 80mm

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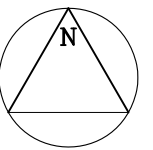
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Please send corrections and error reports to: enquiries@tcmca.co.uk

Notes



...	...: ...	dd.mm.yyyy
Revision	Author & Description	Date

Client
HAMELIN TRUST
19 Radford Crescent
Billericay
Essex CM12 0DU

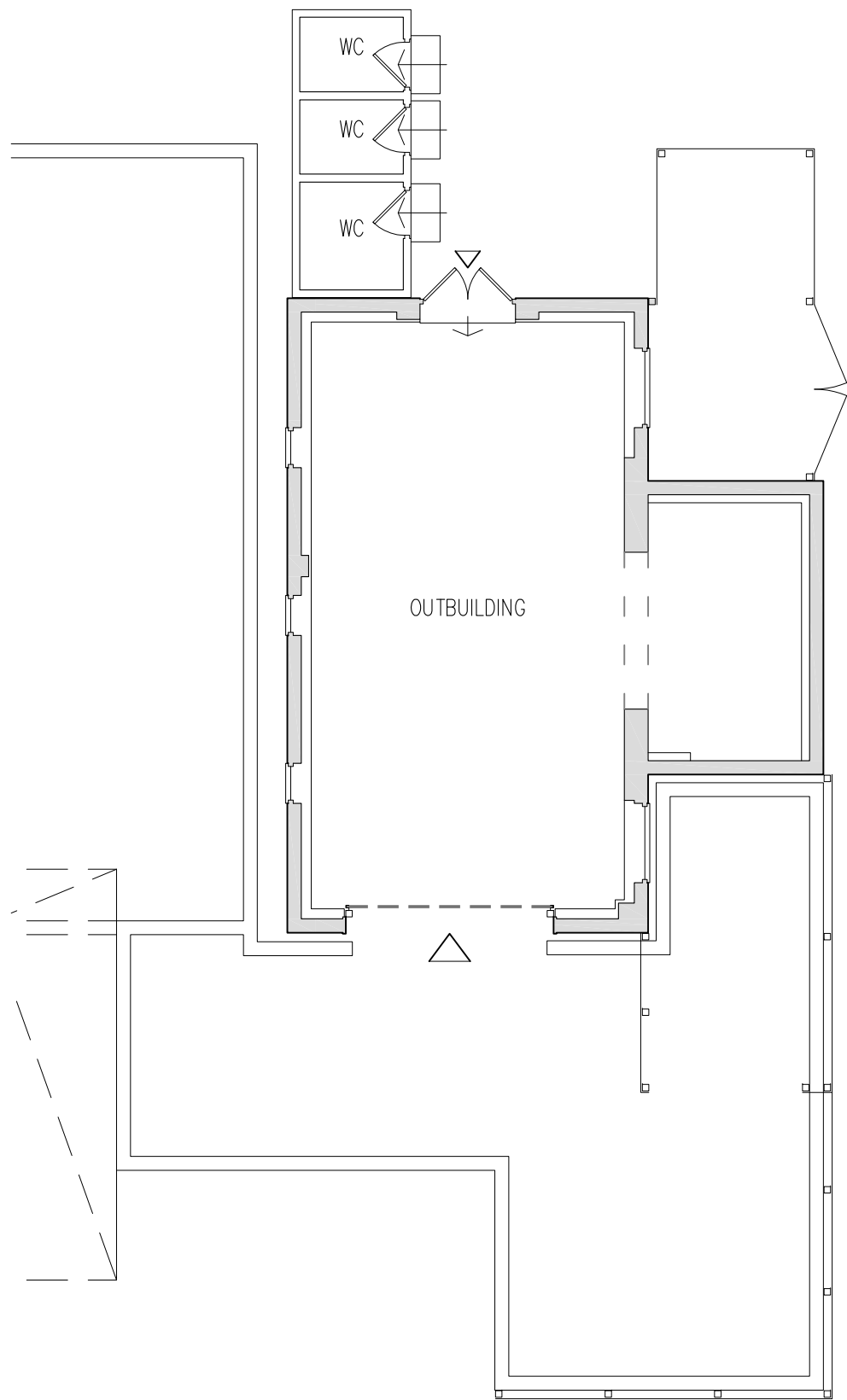
Project
Alteration & Extension
Sutton Bridge Farm
Sutton Road
Rochford
Essex SS4 1XS

Title
Location Plan

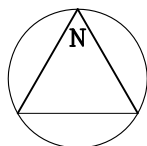
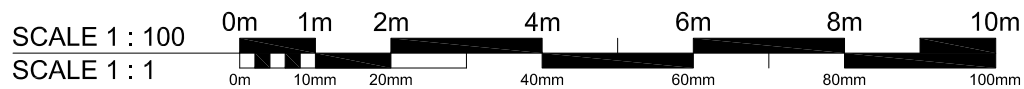
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Date:	04/07/2016	By:	TCM
Scale:	1:1250 @ A3	Check:	TCM

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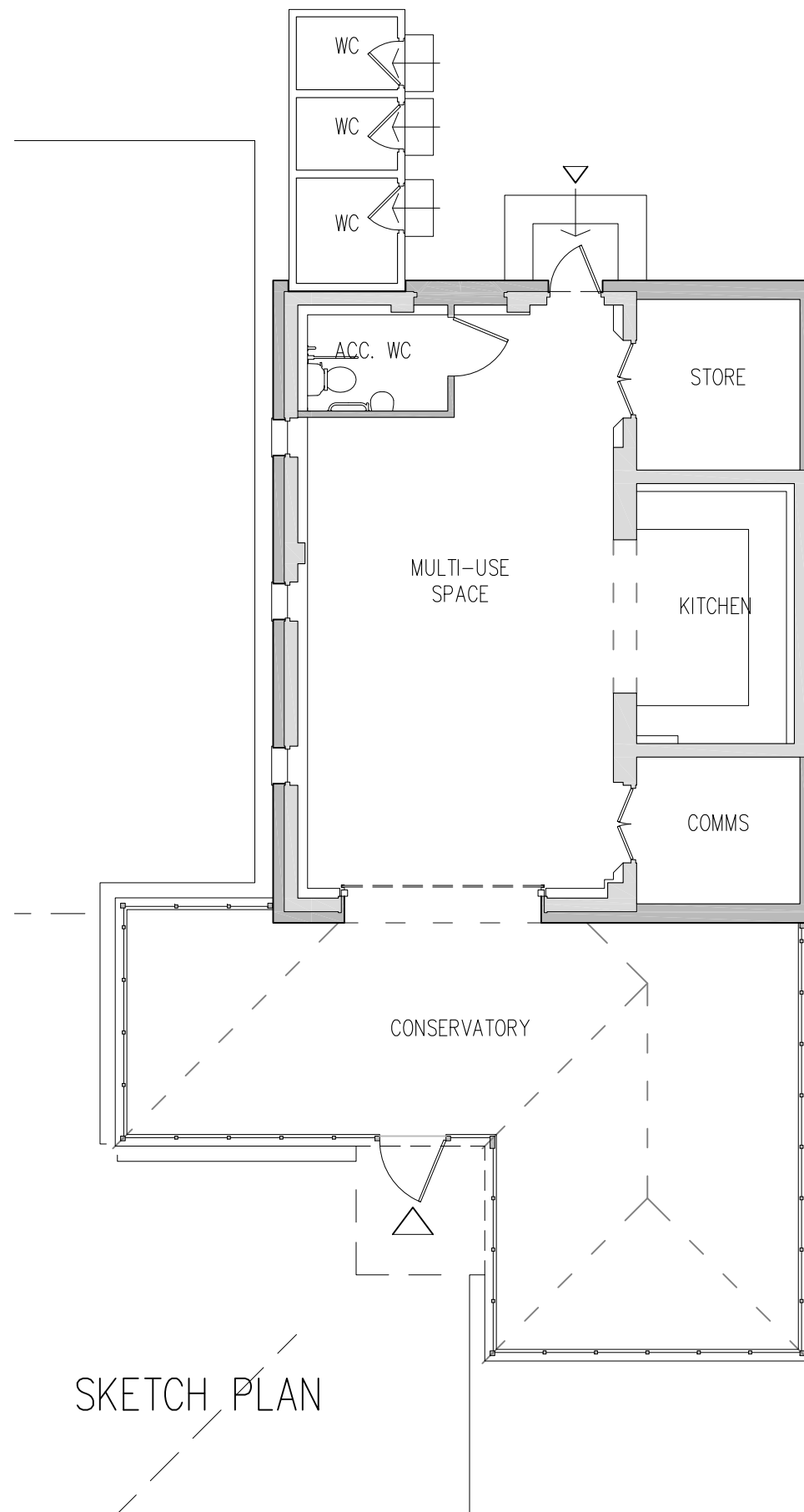
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EXISTING PLAN



SKETCH PLAN



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HAMELIN TRUST
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Project

Alteration & Extension
Sutton Bridge Farm
Sutton Road, Rochford
Essex SS4 1XS

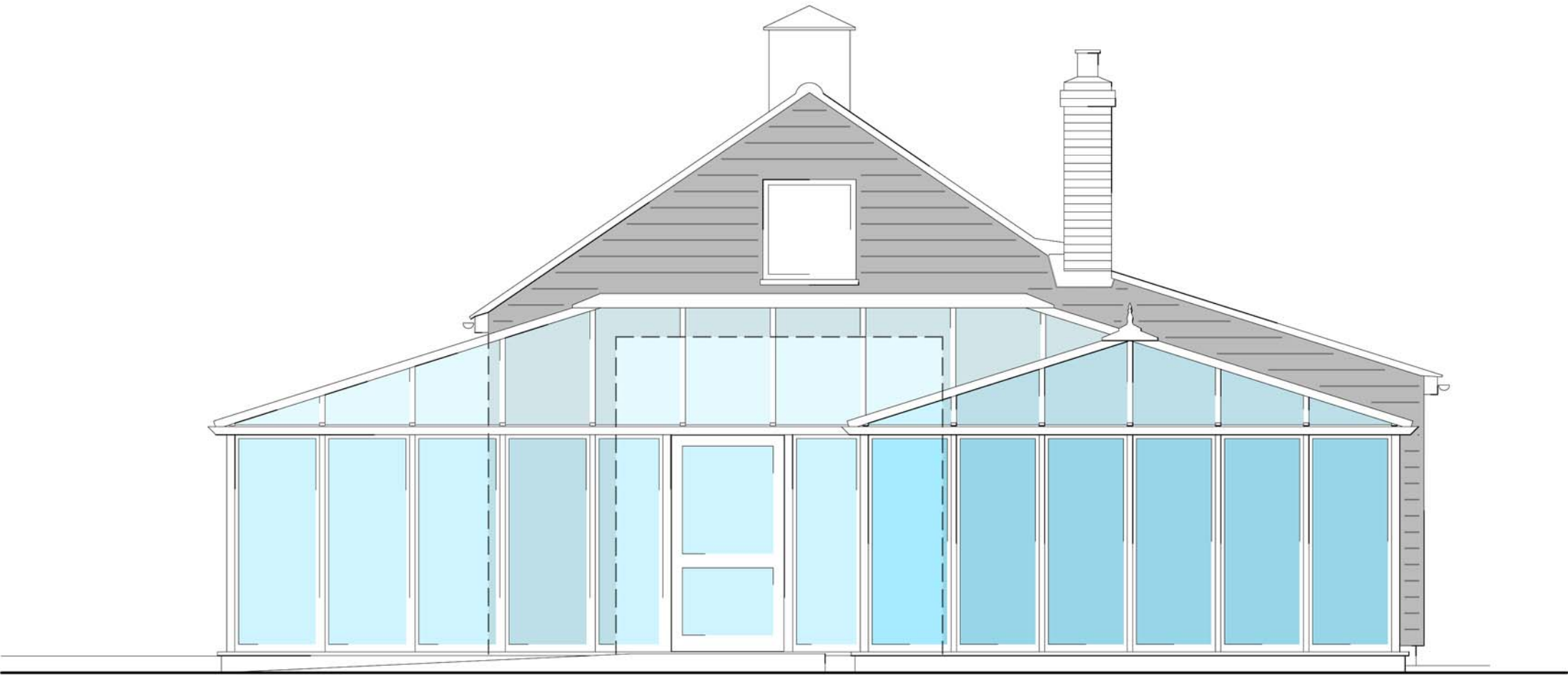
Title

Plans

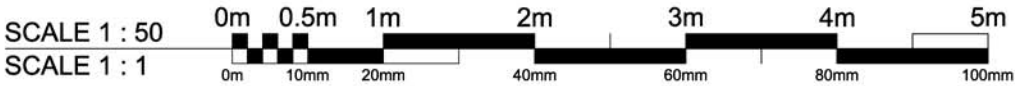
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Date:	24/06/2016	By:	TCM
Scale:	1:100 @ A3	Check:	TCM

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SOUTH ELEVATION



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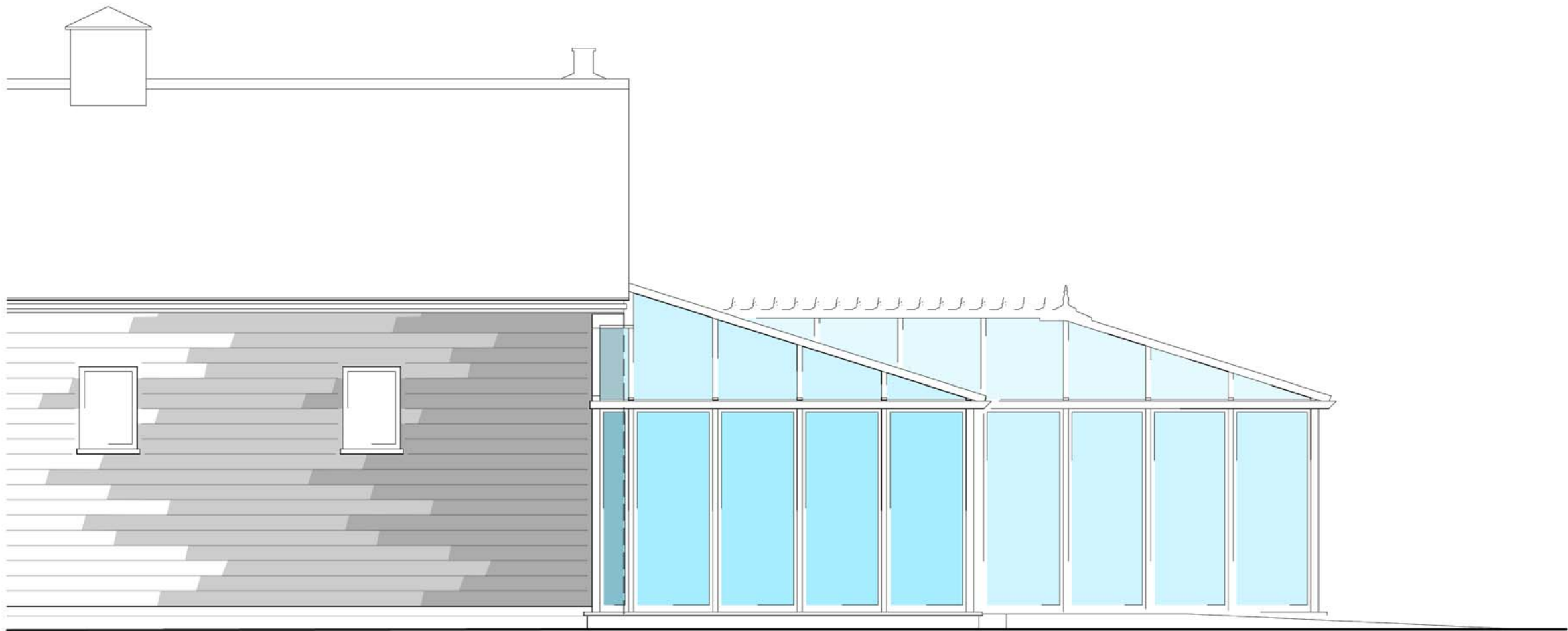
Project
Alteration & Extension
Sutton Bridge Farm
Sutton Road, Rochford
Essex SS4 1XS

Title
Sketch South Elevation

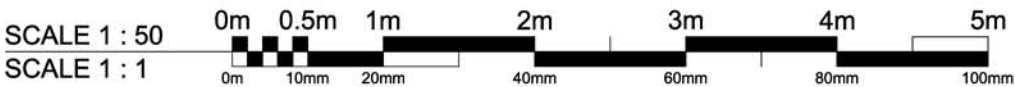
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Date:	24/06/2016	By:	TCM
Scale:	1:50 @ A3	Check:	TCM

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WEST ELEVATION



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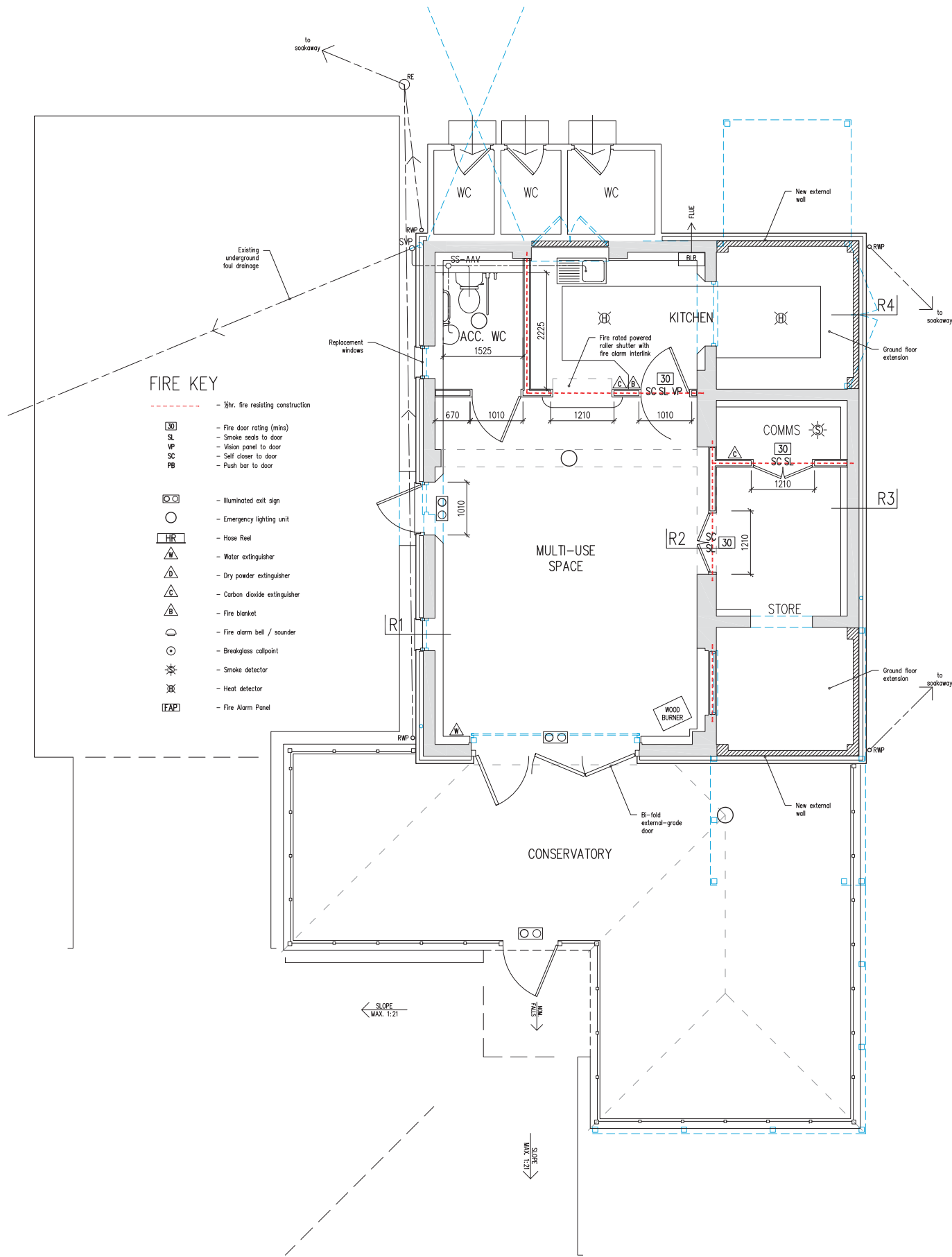
Project
Alteration & Extension
Sutton Bridge Farm
Sutton Road, Rochford
Essex SS4 1XS

Title
Sketch West Elevation Extract

Drawing:	16060–K–030		
Date:	24/06/2016	By:	TCM
Scale:	1:50 @ A3	Check:	TCM

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GROUND FLOOR PLAN

SCALE 1 : 50
SCALE 1 : 1

BUILDING REGULATIONS COMPLIANCE NOTES

EXTERNAL WALLS

All to provide U-value 0.28W/m²K or better.

Refer to Structural Engineer information for new concrete strip foundations and concrete block walling requirements.

New AAC block walls to be 100mm thick generally with 215mm thick piers at corners and interface with existing, laid to existing masonry walls with stainless steel wall starters, incorporating new DPC and with bituminous damp proof membrane coating from DPC down to top of new foundation.

Retained existing external walls to have chemical injection DPC at levels to match new walls DPC.

External wall insulation above DPC to be 75mm thick PIR (Polysocyanurate) board mechanically fixed to new & existing walling, and below DPC to be 50mm impact-resistant XPS (extruded polystyrene) board fully bonded to new & existing walling.

Ventilated rainscreen 'weatherboard' cladding (e.g. Marley Elemit Ltd.

'Cedral Lap') above DPC to have minimum 30mm ventilation gap behind the cladding boards and minimum 10mm continuous gap at the top and bottom of the cladding system for full air circulation.

Reinforced decorative plinth render (e.g. Marmorite 'UP310') coating from DPC down to top of top of new & existing foundations, with gravel trap in-fill to grade at building perimeter to aid drainage and drying.

GROUND FLOOR EXTENSION

All to provide U-value 0.22W/m²K or better.

Refer to Structural Engineer information for new ground bearing concrete slab requirements.

New floor to be 75mm sand cement screed with lightweight mesh reinforcement on 1000 gauge polyethylene sheet vapour barrier with sealed joints on 75mm PIR insulation on sand blinding on 1200 gauge polyethylene sheet damp-proof membrane with sealed joints on 100mm concrete slab on minimum 100mm well-consolidated hardcore. Damp-proof membrane to be continuous with external wall DPC. Insulation layer to incorporate perimeter edging strips returned upwards at external wall.

PITCHED ROOFS Except CONSERVATORY

All to provide U-value 0.18W/m²K or better.

Refer to Structural Engineer information for new rafter requirements.

New cold deck pitched roof spanning between new & existing external walls and existing main roof eaves to have 200mm deep timber jack rafters at centres to match main roof structure, roof tiles laid on tongued softwood battens on vapour permeable sarking membrane, 165mm PIR insulation fixed between rafters leaving a void to the underside of the sarking membrane, and underside of rafters lined with painted plaster skimmed plasterboard.

Existing main roof to have new painted plaster skimmed plasterboard ceiling with 270mm mineral wool loft insulation laid between existing joints, and 75mm PIR perimeter downstand insulation at the top of the inside wall face to prevent cold-bridging. Ensure 50mm air gap at eaves for roof space ventilation (in combination with new window trickle ventilators and existing cupola).

BUILDING REGULATIONS COMPLIANCE NOTES

ACCESSIBILITY

After building approach for level access as indicated on the drawing.

New circulation doors to have minimum 775 effective clear width with door leaf colour to provide visual contrast to the surrounding wall.

'Acc. WC' to be equipped as a wheelchair-accessible toilet in accordance with Diagrams 18 and 19 of Approved Document M 2004 edition incorporating 2004 and 2013 amendments.

REPLACEMENT WINDOWS

To meet Window Energy Rating (WER) Band C or better, or have U-value 1.6W/m²K or better and Low-E coating, all incorporating trickle ventilators to providing minimum 3,500mm² equivalent area.

BI-FOLD DOOR

To have U-value 1.8W/m²K or better, and installed with glazing in accordance with BS EN 12600 or BS 6206 with permanent visually contrasting manifestation in accordance with Diagram 7.2 of Approved Document K 2013 edition.

CONSERVATORY

All work including roof to be undertaken by a specialist designer and installer registered with the Competent Person Scheme.

To be built off existing external slab edge (subject to structural adequacy), as unheated circulation space outside thermal envelope of the refurbished host building.

Entrance door to have mid-grey colour metal frame for colour contrast with surrounding frame.

FOUL WATER DRAINAGE

All fittings to incorporate minimum 75mm anti-siphon traps.

Single wastes 38mm diameter and combined wastes 50mm diameter, all incorporating rodding eyes at bends.

Expose and examine existing underground drainage for inspection by the Building Control Officer for confirmation of altered drainage layout. New drains to be in 100mm uPVC pipes laid to falls of at least 1:40 and surrounded in 150mm pea shingle. New inspection chambers to be 450mm diameter uPVC with steel cover and frame and bedded on 150mm concrete.

SURFACE WATER DRAINAGE

New half-round 100mm uPVC roof gutters discharging to 68mm uPVC downpipes.

New underground drains to be in 100mm uPVC pipes laid to falls of at least 1:80 and surrounded in 150mm pea shingle.

New soakaway to be located at least six metres from any permanent structure, be 1000mm diameter and 1000mm deep below entry pipe invert, have minimum 450mm topsoil cover, and be lined with geotextile membrane.

BUILDING REGULATIONS COMPLIANCE NOTES

FIRE SAFETY

Necessary upgrade of retained existing building fabric to be agreed with the Building Control Officer.

Emergency lighting to BS 5266:2005 PL1

Smoke detection to BS 5386

Exit signage to BS 5499:2002 PL1

MECHANICAL VENTILATION

'Kitchens' to be ventilated by cooker hood with minimum extract rate 30 litres per second, or by a fan with minimum extract rate 60 litres per second located elsewhere. 'Acc WC' to be ventilated by a fan with minimum extract rate 6 litres per second linked to lighting control with 15-minute overrun.

ELECTRICAL SYSTEMS

All work to be undertaken by an installer registered with the Competent Person Scheme.

New light fittings to have sockets that can only be used with lamps having an efficacy greater than 40 lumens per circuit-Watt. New power, etc. outlets to be fixed 450mm above finished floor level and 150mm above worktop level. New light switches to be fixed 1200mm above finished floor level.

HOT WATER SYSTEM

All work to be undertaken by an installer registered with the Competent Person Scheme.

New radiators to be fitted with thermostatic valves. Gas fired boiler to have SEDBUK rating A or B and minimum 85% efficiency, installed in accordance with manufacturer's instructions and agreed with the Building Control Officer. Stand-alone battery operated carbon monoxide detector to BS EN 50291-2001 to be located on a wall surface adjacent to the boiler.

WOOD BURNING STOVE

All work to be undertaken by an installer registered with the Competent Person Scheme.

If required, provide a combustion air ventilator for 'Multi-Use Space' through the external wall, sized and located in accordance with the installer's requirements.

INFORMATION TECHNOLOGY INFRASTRUCTURE

Provide external ductwork and internal access point for high-speed electronic communication networks, with reference to PAS 2016 best practice guidance.

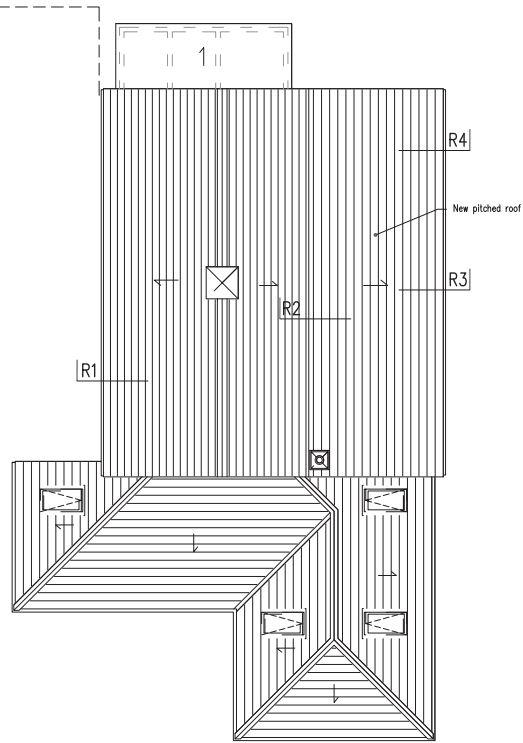
TOWN PLANNING-APPROVED EXTERNAL MATERIALS

THE FOLLOWING EXTERNAL MATERIALS ARE PART OF TOWN PLANNING APPROVAL 16/00836/FUL AS AMENDED:

Roof: Slate tiles to match other outbuildings
Walls: Black weatherboarding
Windows: Double glazed with black colour metal frames
Conservatory: Black colour metal frames
Facing brick plinth
Slate roof with 'Velux' roof windows
Access door: Black colour painted timber
Security shutter: Black colour metal

IMPORTANT NOTE

Any changes to the above external materials must be submitted to and approved in writing by Rochford District Council before any development can take place.



ROOF PLAN Scale 1:100

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Notes

READ IN CONJUNCTION WITH:

X-010 Existing Plans, Section & Elevations
B-020 Builders Work Rod Sections & Elevations

All Structural Engineer (Crucis Designs Ltd.) information

LEGEND

Grey fill: Existing fabric to remain
Dashed blue: Demolition extent

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Project

Alteration & Extension
Sutton Bridge Farm
Sutton Road
Rochford
Essex SS4 1XS

Title

BUILDERS WORK
Plans

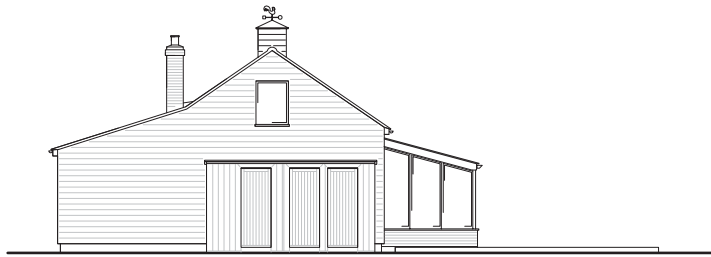
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Date: 15/11/2016

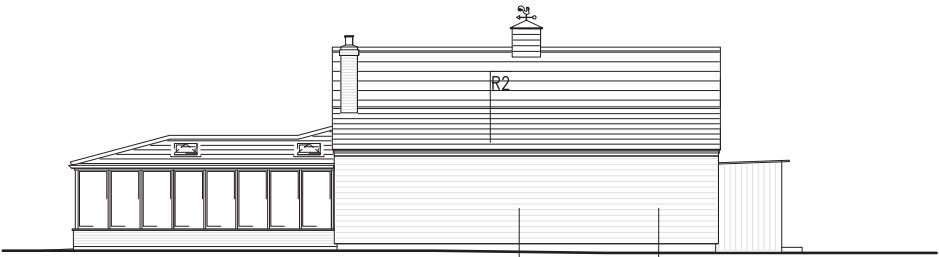
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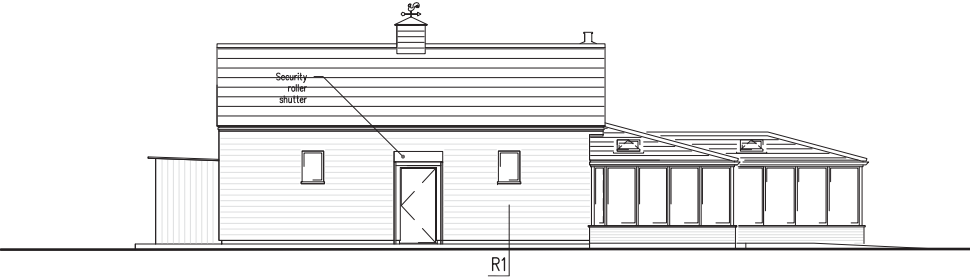
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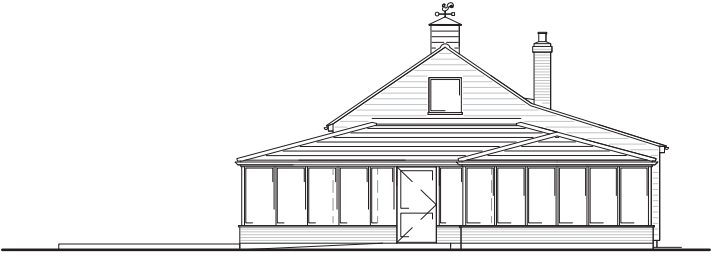
PROPOSED NORTH ELEVATION
SCALE 1:100



PROPOSED EAST ELEVATION
SCALE 1:100



PROPOSED WEST ELEVATION
SCALE 1:100



PROPOSED SOUTH ELEVATION
SCALE 1:100

TOWN PLANNING-APPROVED EXTERNAL MATERIALS

THE FOLLOWING EXTERNAL MATERIALS ARE PART OF TOWN PLANNING APPROVAL 16/00838/TUL AS AMENDED:

- Roof: Slate tiles to match other outbuildings
Walls: Black weatherboarding
Windows: Double glazed with black colour metal frames
Conservatory: Black colour metal frames
Facing brick plinth
Slate roof with 'Velux' roof windows
Access door: Black colour painted timber
Security shutter: Black colour metal

IMPORTANT NOTE

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Notes

READ IN CONJUNCTION WITH:

X-010 Existing Plans, Section & Elevations
B-010 Builders Work Rod Plans

All Structural Engineer (Crucis Designs Ltd.) information

LEGEND

Grey fill: Existing fabric to remain
Dashed blue: Demolition extent

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Project

Alteration & Extension

Sutton Bridge Farm
Sutton Road
Rochford
Essex SS4 1XS

Title

BUILDERS WORK

Rod Sections
& Elevations

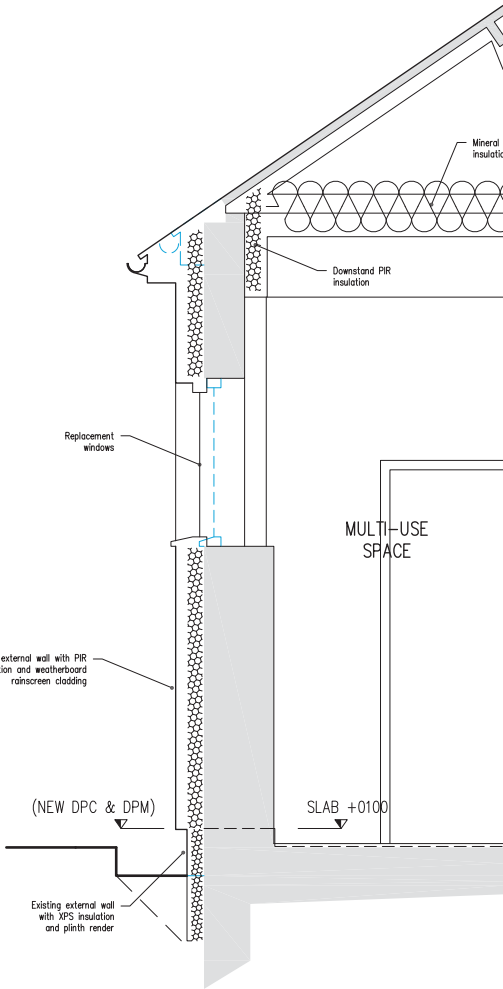
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Date: 15/11/2016

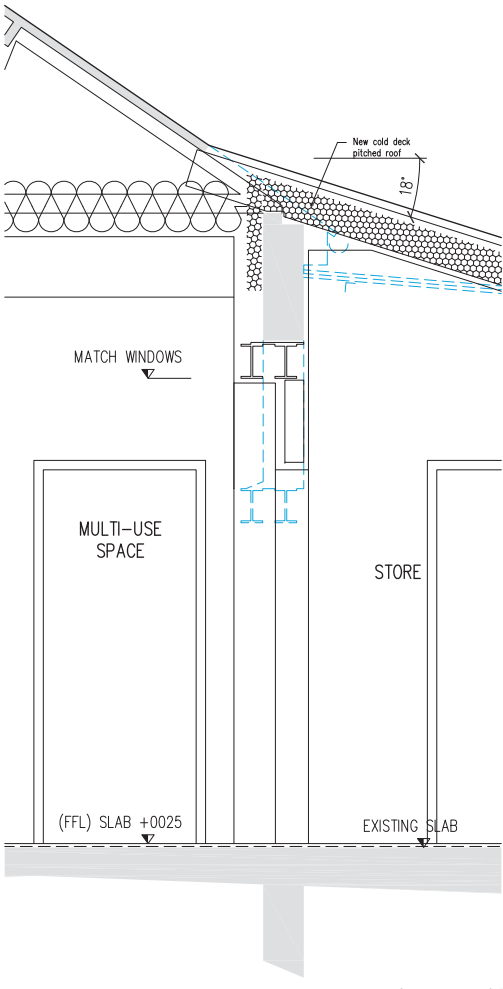
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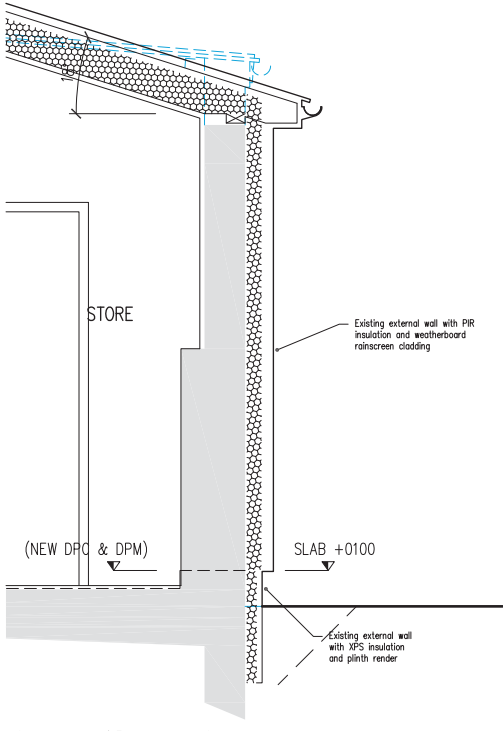
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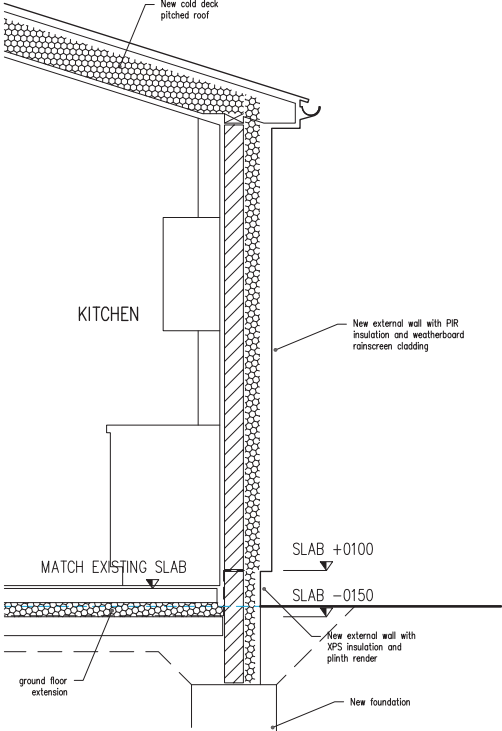
SECTION R1



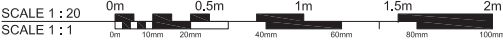
SECTION R2



SECTION R3



SECTION R4





Hamelin Trust

Supporting Individuals with Disabilities and their carers

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Assistant Director
Planning Services
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Council Offices
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SS4 1BW

Central Office
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Billericay
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CM12 0DU

Tel. 01277 653889

Email: enquiries@hamelintrust.org.uk
Web: www.hamelintrust.org.uk

Officer support for the suggested changes to the building contained in the planning advice would only go so far in making this space and the Horticulture Project for disabled/disadvantaged people, truly accessible to all.

I therefore request the use of your and Rochford District Council's discretionary powers to support our attempts to make the Sutton Bridge Farm site a safe, fully accessible environment.

This extension and conservatory complement developments to date (including the respite care home and the Hydrotherapy Pool) by providing additional multi-purpose facilities.

Please refer again to the attached proposed multi-purpose use of the extension submitted at the pre-planning stage.

I would welcome any questions and/or site visits by Officers or Council Members to discuss our proposals further if you feel it may help in the decision making process.

Yours sincerely

S. Fisher

Steve Fisher
Chief Executive
Hamelin Trust

26th August 2016

Dear Mrs Lyons

Re: Planning Application at Sutton Bridge Farm, Sutton Road, Rochford, Essex SS4 1XS

Further to our pre-application enquiry and the advice received Ref. No. 15/00057/PREAPP, please find enclosed our full application for planning permission.

We appreciate the 'support in principle' from Officers in our attempt to improve the facilities and have tried to incorporate their recommendations in our application.

We recognise that the utilisation of the existing concrete pad as a base to provide a conservatory could be seen as a disproportionate addition to the building.

However, given the needs of our service users who have profound and multiple disabilities and the purposes that the whole building is being developed for, we believe that they should be considered appropriate exceptional circumstances for development within green belt land.

We are trying to establish more fully accessible space to offer an extension to the existing training and supported employment opportunities linked to horticultural use, and to offer a venue for activities and Carer Support Groups in Rochford and surrounding areas.

Many of our beneficiaries are very vulnerable people who require greater protection from the elements and who use wheelchairs that are much larger than conventional wheelchairs. They have significant extensions to foot rests/guards, head rests, and wide moulded to the individual seating to provide appropriate support. The 'turning circles' of such larger wheelchairs are much greater than for conventional wheelchairs.

Patrons: Peter Egan & The Lord Petre L.L.